



# Design Guidelines

April 2015





# Contents

## **01 Introduction and Overview**

|                                   |    |
|-----------------------------------|----|
| Welcome to Waterloo Business Park | 04 |
| Location                          | 05 |
| The Vision                        | 06 |
| Objectives of the Guidelines      | 07 |
| Relationship to the District Plan | 08 |

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## **02 The Guidelines**

|                                  |    |
|----------------------------------|----|
| Street Interface                 | 10 |
| Open Space and Walkway Interface | 14 |
| Pound Road Interface             | 16 |
| Residential Interface            | 17 |
| Building Design and Appearance   | 19 |
| Signage and Lighting             | 20 |
| Landscaping                      | 21 |

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## **03 Appendices**

|   |    |
|---|----|
| Plant and Species Schedule              | 25 |
| Landscaping Implementation Requirements | 28 |



01

# Introduction and Overview



C. SCHAFER '14



## WELCOME TO

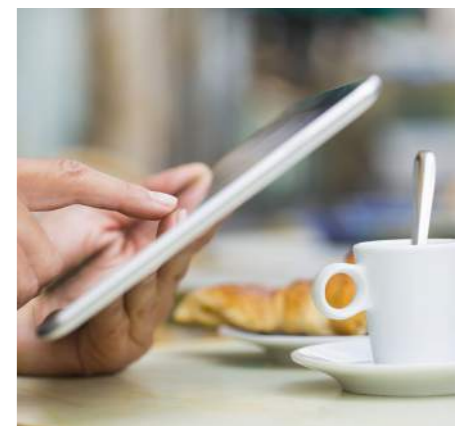
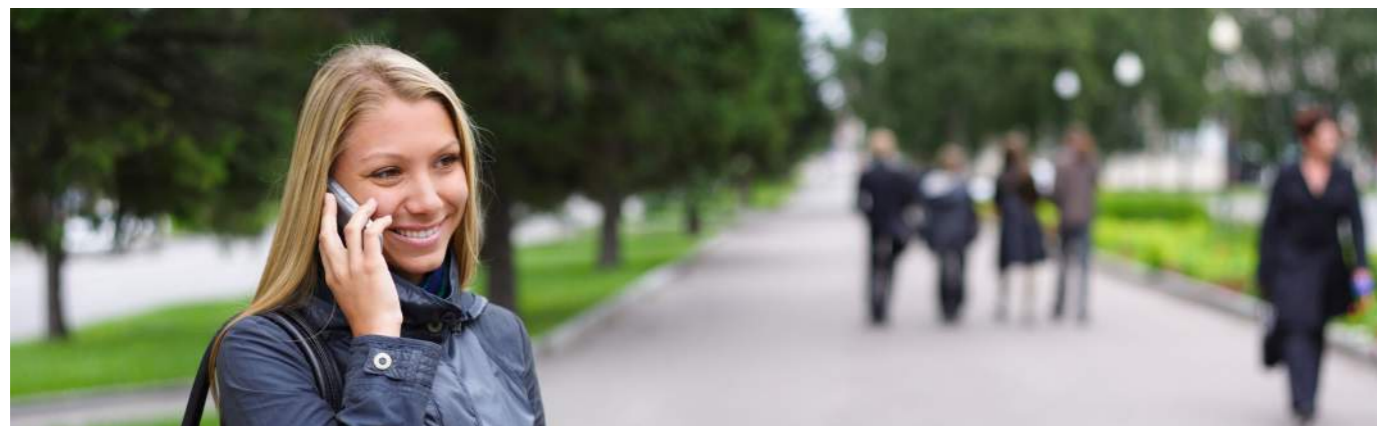
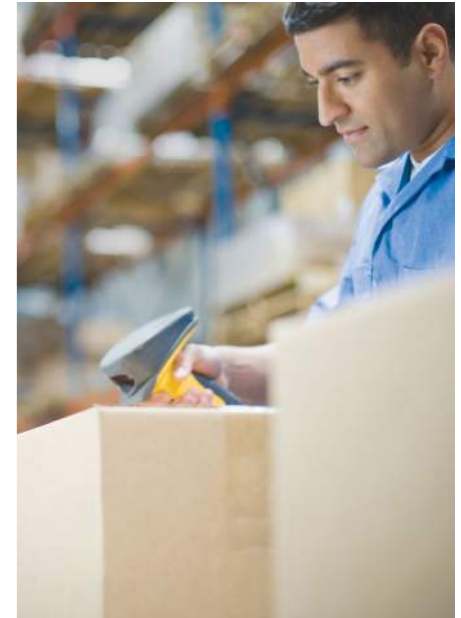
# Waterloo Business Park

This document has been developed by Waterloo Business Park Limited based on an original produced by the following Harrison Grierson staff:

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This document sets out guidelines for development and landscaping on lots within the Waterloo Business Park. It will be referred to when considering developing on lots at Waterloo Business Park.

The Master Plan concepts illustrated in this document are subject to detailed engineering design and the obtaining of resource consent.



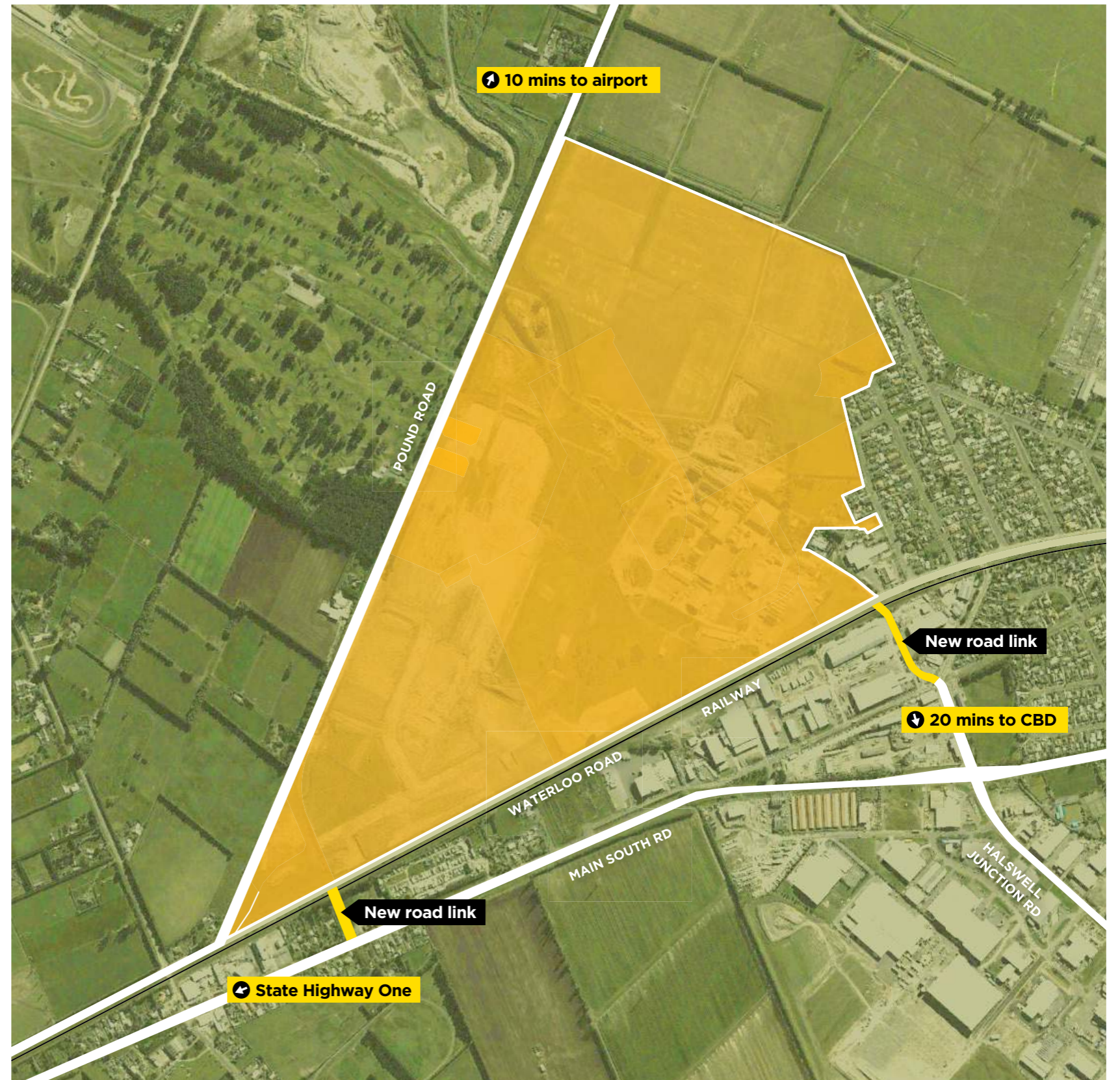


## INTRODUCTION AND OVERVIEW

# LOCATION

Waterloo Business Park is a 114 hectare landholding bounded by Pound Road and Waterloo Road, at the western edge of Christchurch. This is a significant area likely to be developed in stages over several years.

It is located within 9.7km of Christchurch Airport, 26km of the Port of Lyttleton, and 12.6km of the western CBD fringe. There is easy connection to State Highway 1 (Main South Road). The site benefits from a great strategic location, and from a great setting at the very edge of the Christchurch urban area, enabling on-going visual connection to the rural hinterland to the west, on the opposite side of Pound Road.





## INTRODUCTION AND OVERVIEW

# The Vision

The vision is to create a Business Park which is both flexible and memorable, is a great place for industry and business, and is focused on a central hub and plaza which is unique and unlike anything seen in Canterbury to date.

The “Hub” is comprised of three development lots grouped around central plaza areas. At this stage Waterloo Business Park has not determined how these lots will be developed, or by whom, but they are likely to have quite different built outcomes compared to lots in the rest of Waterloo Business Park. As such, Guidelines have not yet been developed for the Hub area, and this document applies only to lots in the “Core and Periphery” areas as shown on the Master Plan Opposite.

The block and road structure follows a simple rectilinear pattern. This structure allows regular shaped lots to be created. Blocks are sized to allow for lots of varying sizes, sized to purchaser needs, without the need to utilise rear lots, and with the option of through lots (with two road frontages) if desired. The grid varies to reflect also the alignment of Pound Road, which is typical of the patchwork pattern of the Canterbury countryside. Boulevard style roads signal the connections to the Hub area from the balance of the internal road pattern.

It is intended that Waterloo Business Park will offer relatively unconstrained opportunities for business development (expected to focus on industry and distribution, often on large sites) around its “Periphery” areas.

The “Core” of the development, particularly around the Hub, is expected to have a higher proportion of higher amenity users, such as showrooms and associated offices and “high tech” and research based users and/or smaller combined warehouse and office spaces. Uses with higher staff levels will be encouraged to locate in the most central part of the development, to provide life and vibrancy within the public spaces of the Hub.

The Waterloo Business Park also includes a network of open park spaces. There are particular guidelines dealing with lots that interface with these open spaces.





## INTRODUCTION AND OVERVIEW

# Objectives of the Guidelines

### The objectives of the Guidelines are:

- To attract high calibre long term occupiers and tenants by providing a quality business environment offering the opportunities for work life balance
- To attract to a broad spectrum of users by achieving a gradation of amenity levels from the Hub out to the Periphery
- To ensure that design effort is focused on the interface between, and area between, the front of the building and the street boundary of the lot, leaving the balance of the lot with the potential for lower amenity outcomes if required for the particular user
- To ensure that the use and enjoyment of the Park spaces, which are a key public amenity within the Business Park, are not compromised by poorly considered design on the interfacing lots
- To ensure that where lots abut properties zoned and used for residential purposes appropriate design devices are utilised to minimise adverse effects on those properties
- To achieve a landscaping regime on lots which responds to local conditions and reinforces the landscaping regime for the public spaces of Waterloo Business Park
- To ensure that lighting and signage complement rather than detract from building and site design
- To support the future creation of a memorable and iconic heart for Waterloo Business Park by ensuring building development in and close to the Hub is of the highest standard

### The Guidelines are set out under EIGHT main design elements:

- Street Interface
- Open Space and Walkway Interface
- Pound Road Interface
- Residential Interface
- Building Design and Materials
- Signage
- Lighting
- Landscaping

Each Design Element starts with an introductory discussion of the issues being addressed and the outcomes the related guidelines are setting out to achieve or avoid.

For each guideline it is noted whether it applies to the Core or Periphery, and in some cases variations are noted within the text of the guideline or in the introductory discussion as to the outcomes acceptable within the Periphery as distinct from the Core.

C

Applies to the Core



P

Applies to the Periphery



# Relationship to the District Plan

The Waterloo Business Park is zoned Business 8 under the Christchurch City Plan. This is a special zone which was established to enable business park development here. In general, industrial and commercial uses are permitted activities here, and no resource consent is required if proposals are in accordance with relevant development controls. Special consent requirements apply to lots with frontage to Pound Road.

### IN SUMMARY, THE DEVELOPMENT CONTROLS ARE:

- Maximum Plot Ratio: 1.0
- Maximum Building Height: 20m (or 15m within 50m of a Living Zone boundary or Pound Road)
- Minimum Building Setback from all road boundaries: 6m (additional setbacks apply to sites bounded by Pound Road, and no outdoor storage other than vehicles and machinery for sale to be located within the setback)
- Minimum setback to boundaries with a Living zone: 5m (recession planes are also applicable) with no outdoor storage within the setback
- Offices and showrooms: shall be located at the front of buildings and facing the street (variations apply to sites with boundaries to Pound Road or open space)
- Minimum landscaped area: 10%
- Minimum landscaped strip: 3m across road frontages (excluding vehicle crossings) with balance of landscaping to be forward of the street facing building line and along internal publicly visible internal boundaries (variations apply to sites with boundaries to Pound Road)
- Trees: Minimum of one per Lot plus an additional one per 10m of road frontage.
- In addition one tree shall be planted for every 5 parking spaces required on the site. (other requirements apply – refer Section 2.8)

The site is crossed by a Transpower electricity line, and additional restrictions apply in the transmission corridor. The above summary is for information only and lot owners should make their own enquiries direct with Christchurch City Council as to any compliance issues.

A lot owner should not apply for any resource consent or building consent prior to obtaining Waterloo Business Park Owners approval, through the process set down in Section 1.6. Development which is in accordance with the guidelines will not trigger a requirement for resource consent.



A photograph of a modern building with a glass facade and dark structural columns. In the foreground, there is a landscaped area with green grass, a row of white flowers, and a dark vertical post. The sky is clear and blue.

02

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# The Guidelines



## THE GUIDELINES

# Street Interface

It is important to ensure that design effort is focused on the interface between, and area between, the front of the building and the street boundaries of the lot, leaving the user with more flexibility as to the use of the balance of the lot.

The aim of this group of guidelines is to focus the designer on the experience of the unfamiliar visitor and passing member of the public, who should feel safe and comfortable in entering the site by car or on foot and making their way to an entrance which is weather-protected and architecturally obvious.

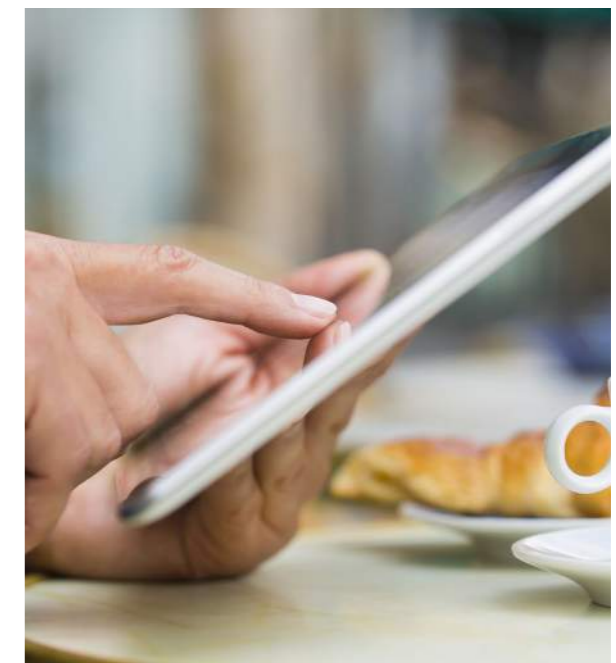
For those occupiers with an office component to an otherwise industrial/commercial or warehousing activity, the District Plan requires the office to be located at the front of the building. The related guideline below seeks further architectural expression of this component. Similarly, the District Plan already places restrictions on the use of the front of the site for the storage of materials or waste, and the guidelines below expand on these.

Security is always an important issue in commercial areas and companies moving into the area are likely to want secure fencing to their properties. However, the guidelines control the nature of this fencing when forward of the line of the building, to maintain an attractive and open streetscape in combination with a Front Yard Garden.

Certain guidelines are applicable for the Core but not the Periphery because users with a more significant component of office or commercial activity and higher staff and visitor numbers are anticipated.

The guidelines are written in the first instance for lots with a single street frontage, and the final set of guidelines note specific matters of variation related to corner lots and through lots.

Further guidance on landscaping requirements in regards to the street interface and the Front Yard Garden is included in Section 2.7.





## THE GUIDELINES

# Street Interface

### Corner Lots and Through Lots - P & C

For the purpose of interpretation of the Street Interface guidelines overleaf, when applied to corner lots (with two adjoining road boundaries), or through lots (with two opposite road boundaries or three adjoining road boundaries) the applicant should nominate a principal road and the term “road” in the first five guideline sets overleaf should be taken to refer to the principal road only.

If a corner lot has one road frontage where the lots on the opposite side of that road are in the Core, and one where the lots on the opposite side of that road are in the Periphery, the former should be identified as the principal road.

For corner lots the term “the line of the front of the building” is established by the position of the building relative to both road frontages.

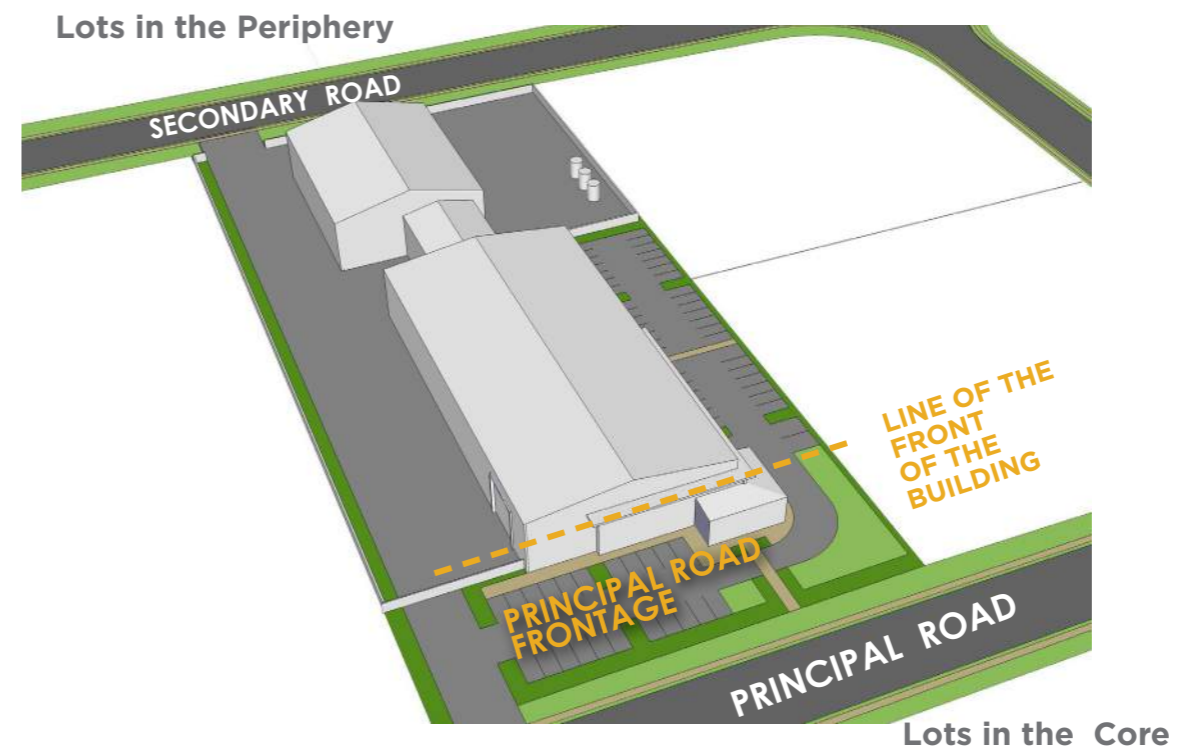
For through lots the term “the line of the front of the building” is established by the position of the building relative to the principal road frontage.

If a through lot has one road frontage where the lots on the opposite side of that road are in the Core, and one where the lots on the opposite side of that road are in the Periphery, the former should be identified as the principal road.

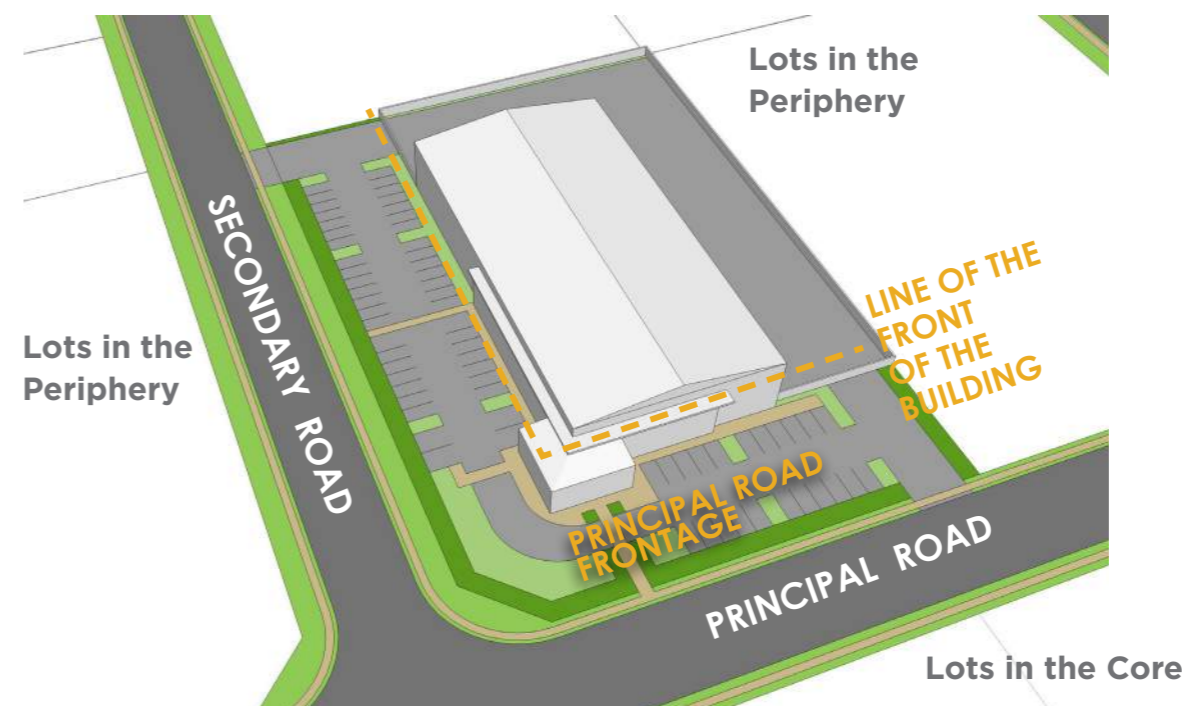
For through lots (or corner lots) adjoining Pound Road the word “road” in all the above guidelines will be taken to mean the internal subdivision “road”.

For the purpose of interpretation of the guideline for fencing on all road boundaries, on corner or through lots (other than on Pound Road) it should be recognised that visually permeable high fencing on the boundary or boundaries which have not been identified as the principal road boundary will be acceptable if required for site security.

### Through Lot Example



### Corner Lot Example





## THE GUIDELINES

# Street Interface

### Parking Location - P & C

Visitor parking should take place between the road and the front of the building but behind the Front Yard Garden, and if necessary may also take place at the side of the building.

Visitor parking should be close to the building entrance, and should be easily identified from the vehicular entrance to the lot.

Car parking areas between the road and the front of the building should be arranged in rows that do not exceed 10 spaces in a line without a landscape feature or path with a minimum dimension of 1.5 metres separating these bays.

### Front Door - P & C

The building should have a principal pedestrian entrance which is clearly visible and easily accessible from the road and visually distinct from other entrances.

The position of the principal entrance should be expressed by a canopy, recess or overhang, and should be protected from adverse weather.

### Pedestrian Path - C

A clear pedestrian path of a minimum width of 1.8m should be provided from the footpath at the road frontage to the building's principal entrance.

Safe and clearly defined crossing points (e.g change in surface material) should be provided where the path crosses areas in use by vehicles.

Where the pedestrian access is positioned alongside vehicular access to the site it should be separated by a garden bed.

### Office Location - P & C

In addition to any office component being located at the front of the building the location of the office area should be expressed as distinct from the surrounding building when viewed from the road, by way of architectural variation. In the Core this variation should include changes in material, extent and nature of glazing, and projections of all or part of the office area in plan form.

### Loading - C

Loading should take place at the rear or side of the building, but for lots in the Periphery it may take place at the front provided it is removed from the pedestrian entrance and office area.

### Outdoor Storage - P & C

Outdoor storage of materials and waste (including associated bins) should take place behind the line of the front of the building and should be screened from direct view from any adjoining road or Living zone.

### Outdoor Display of Goods - C

Outdoor storage and display of goods manufactured on site or sold/marketed/hired from the lot, should take place behind the line of the front of the building.

### Fencing - P & C

Fencing along all road boundaries is discouraged in the Periphery and should not be used in the Core. If required, it should be entirely permeable fencing to a maximum height of 1.8m.

If fencing is proposed between the rear of the Front Yard Garden and the line of the front of building, it should either be entirely permeable or utilise elements

(columns, or plinths/bases of less than 1m in height) which give the impression of permanence and solidity such as:

- Stone faced concrete or blockwork
- Rendered or bagged concrete, brick or blockwork
- Keystone
- Brick (face or painted)

Razor wire fencing should not be used between the rear of the Front Yard Garden and the line of the front of building.

Timber, cement sheet and corrugated steel fences should not be used in any publicly visible location.



# Street Interface



- 1 Outdoor storage area screened from public view
- 2 Front yard trees: 1 per lot plus 1 per 10m frontage, spaced 5m to 15m apart.
- 3 Principal entrance to office area easily accessible from road
- 4 Low wall based on columns
- 5 Loading area (preferred location)

- 6 Loading area (acceptable location)
- 7 Planting required along blank walls over 5m length and path required if more than 30 car park spaces in the balance front yard
- 8 1.5m wide landscape feature breaking up parking row
- 9 Main tenancy sign at principal site entrance



## THE GUIDELINES

# Open Space and Walkway Interface

The Master Plan for Waterloo Business Park includes a network of open park-like spaces which will accommodate recreation and stormwater management functions. These open spaces will complement the more urban plaza spaces of the Hub. They are sometimes supplemented by walkways.

In some locations industrial lots back onto or have a side boundary common with an open space. It is important that development on these lots does not “turn its back” on these spaces. Instead, the guidelines encourage development which presents a managed and tidy interface with the open space, and provides opportunities for surveillance (overlooking) of it, making it feel safer to use. It should be noted that on-site outdoor spaces overlooking outdoor spaces or walkways are encouraged, so alternative positions will be considered if the requirement to overlook the open space results in this being an undesirable location for an outdoor area from a solar access perspective.

Further guidance on landscaping requirements in regards to open space interface is included in Section 2.8. This requires a specific garden bed design along boundaries with open space, so it is important that any boundary fencing is permeable so this planted area can be seen from (in addition to maintaining opportunities for overlooking the open space).

### Office Location - P & C

Where a lot abuts a street at the front boundary and an open space on the side boundary, any office area should be located close to or at the front corner closest to the open space boundary.

If lot orientation results in this being an undesirable location for offices from a solar access perspective, alternative means of providing glazing and activity at this building corner should be proposed.

### Outdoor Storage - P & C

Outdoor storage of materials and waste (including associated bins) other than finished goods available for sale or hire from the site should be screened from direct view from the adjoining open space.

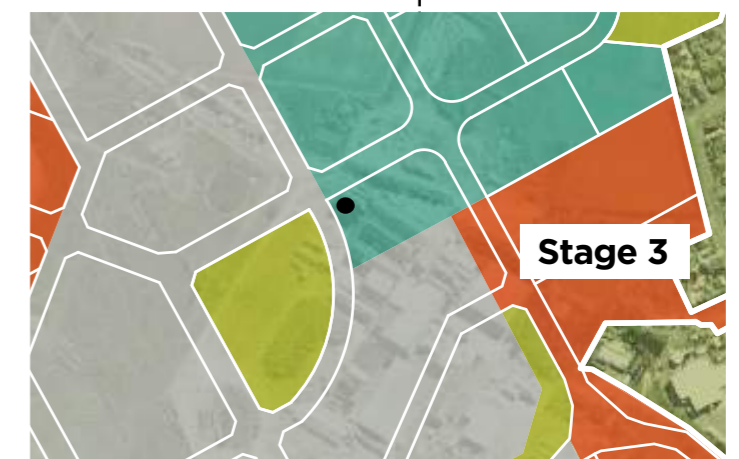
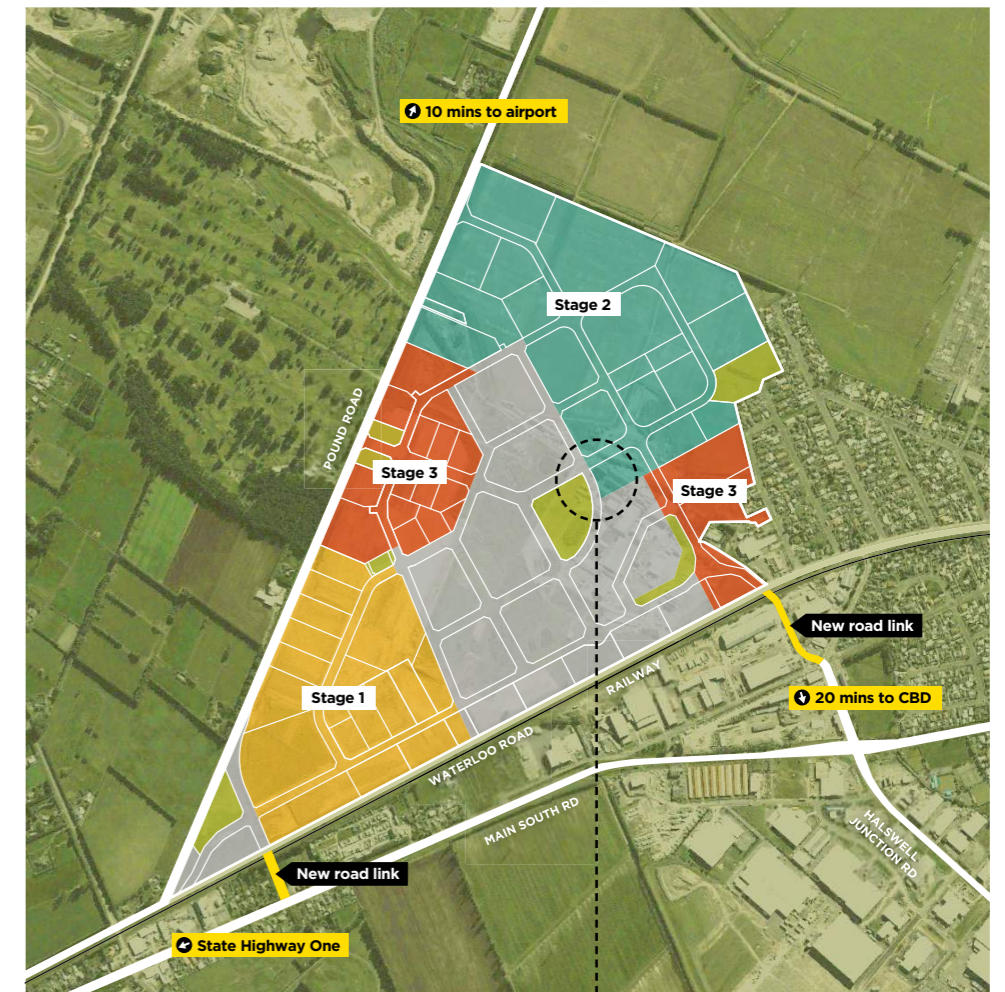
### Fencing and Screening - P & C

Fencing on any boundary between a lot and an open space area should be entirely permeable.

### Overlooking Open Space - P & C

If outdoor space for staff or visitors (e.g. a lunch area) is provided it should ideally be located so that users can overlook the open space and access it easily.

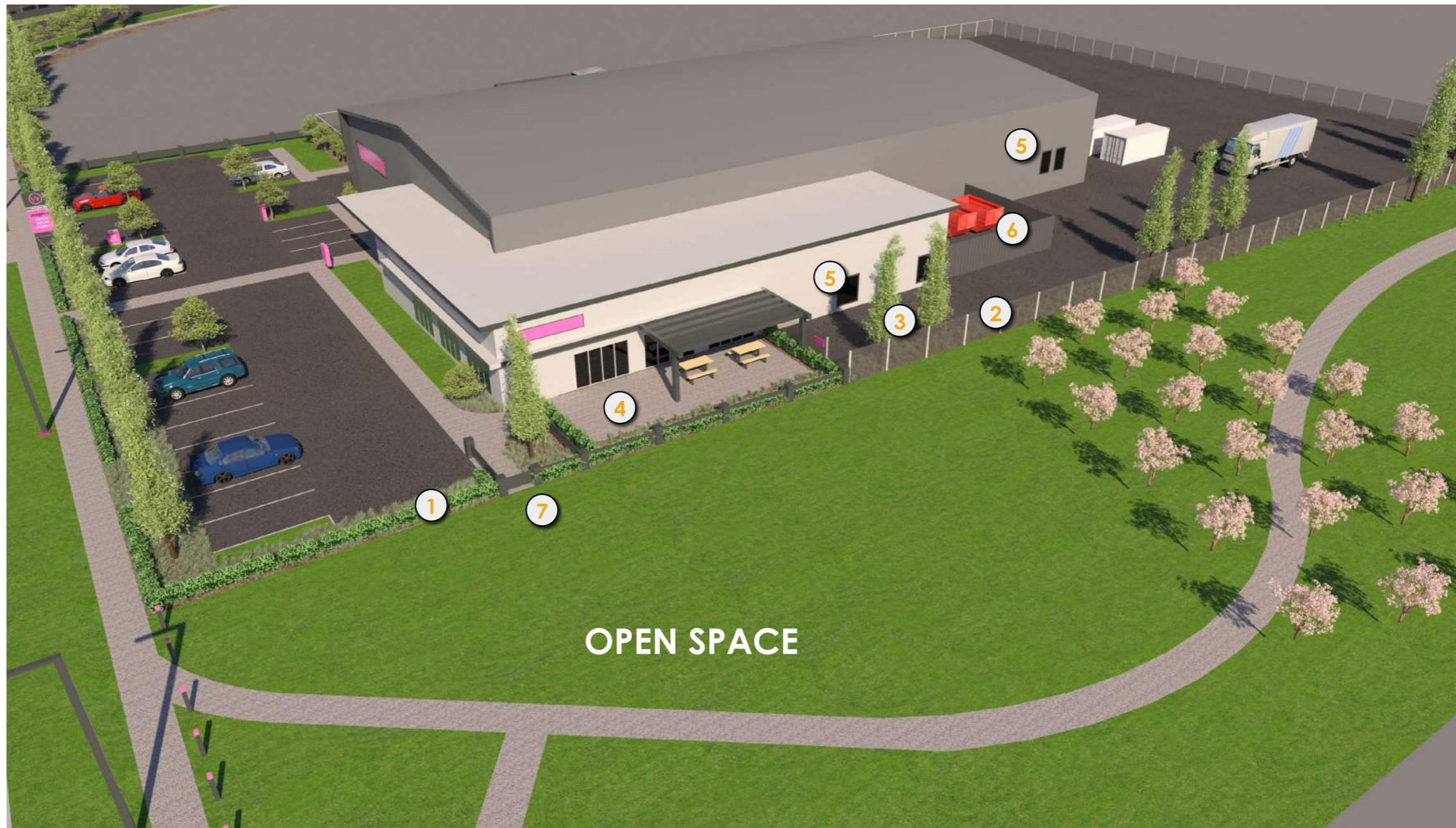
On any building elevation generally facing the open space, blank walls should be avoided and sufficient glazing (in windows and/or doors) should be provided to achieve a perception that the open space is being overlooked from within this part of the building.



Preferred location of office



# Open Space and Walkway Interface



- 1 2m wide planted strip required
- 2 Permeable or low fencing only is permitted
- 3 Trees required: One per 15m
- 4 Office, staff room and outdoor patio to ideally be located adjacent to open space

- 5 Windows required, to provide informal surveillance
- 6 Waste storage areas screened from public view
- 7 Direct access to public open space is recommended



## THE GUIDELINES

# Pound Road Interface

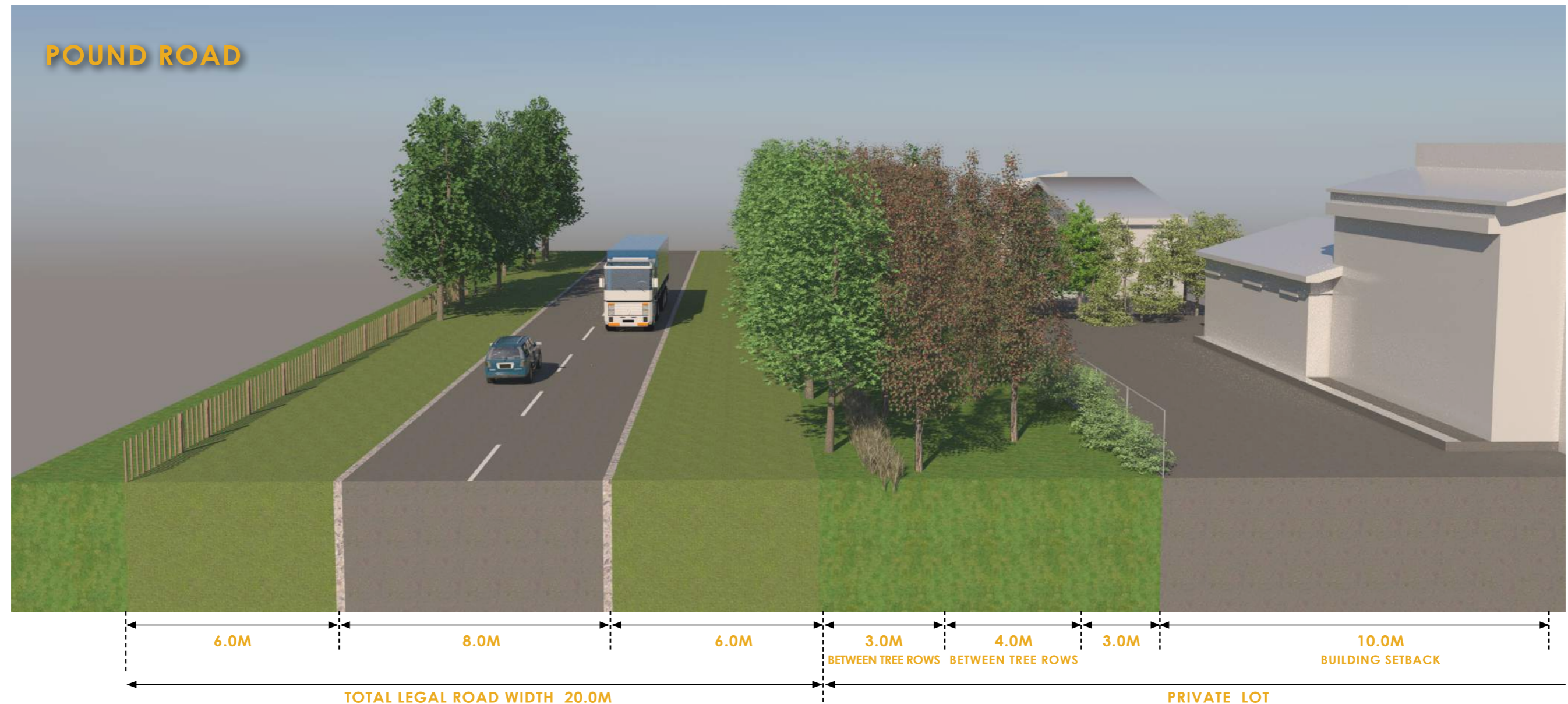
Rather than being expressed as a guideline, this section provides information for owners of lots adjoining Pound Road. These lots have a 10m wide landscape strip and 20m building setback off Pound Road. The legal road boundary will remain unfenced, but the rear of the 10m landscape strip (within the Lot) can be fenced with a maximum 1.8m high permeable wire fence. The planting will be implemented and maintained for a 24 month period by the Waterloo Business Park Owners.

The majority of the Pound Road landscaping strip will be typified by three rows of large grade specimen trees (Oak and native Beech) at 10m spacings approximately, a Pittosporum hedge row along the fence boundary and approximately six metres of the 10 metre width underplanted with flax and tussock groundcovers.

At the completion of the 24 month maintenance period individual lot owners will take responsibility for the long term management and maintenance of the landscape strip, in accordance with good horticultural practices.

### Maintenance issues to be addressed

- mowing the grassed strip adjoining the legal road boundary
- weed removal
- pest control
- rubbish removal
- watering during extended dry periods
- tree stake repairs and/or removal once trees are firmly established
- reinstatement of mulch levels
- reinstatement of garden edging (if any)
- formative or damage pruning
- fertilising for growth
- treatment for insect or fungal diseases
- tree death replacements





## THE GUIDELINES

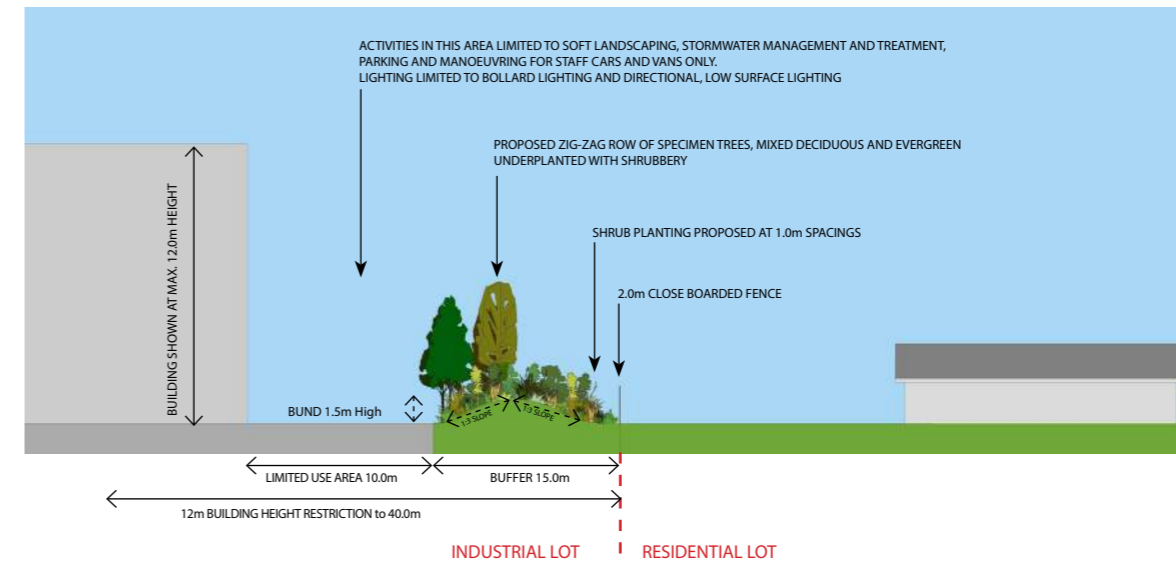
# Residential Interface

The eastern edge of Waterloo Business Park abuts residential streets. A resource consent related to the Master Plan layout was obtained in April 2013 which places certain restrictions (beyond those arising from the District Plan) on the use of lots with boundaries to Brixton Street or boundaries to residential lots served from Brixton Street. Rather than being expressed as a guideline, this section provides information for owners of lots in this area as to requirements under this consent.

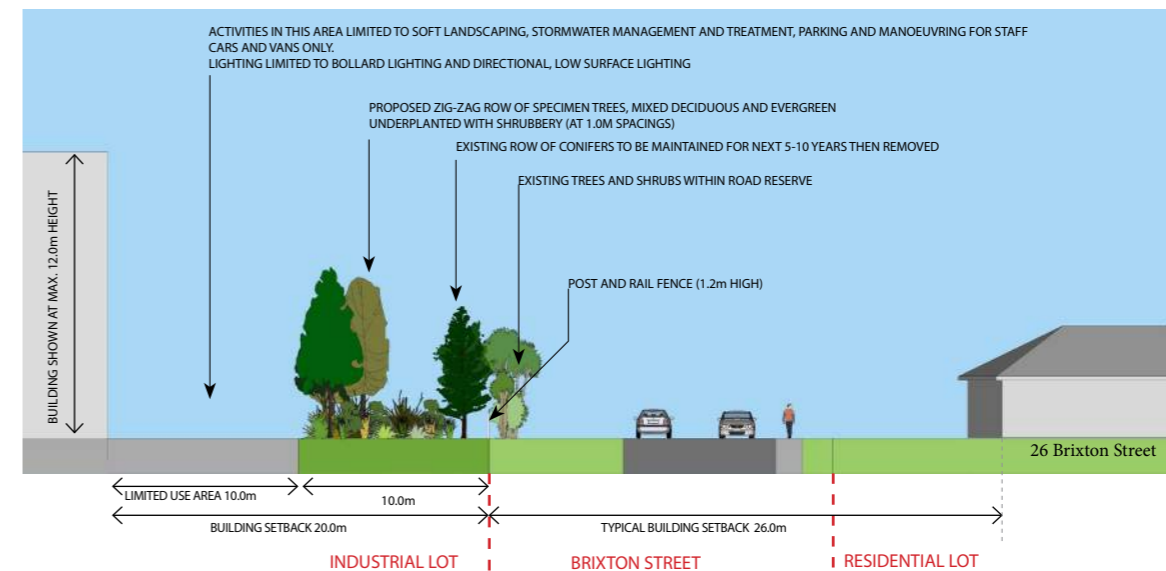
It should be noted that the Waterloo Business Park Owners have not resolved with Council the matter of lots abutting residential lots served from Mortlake Street, but similar restrictions are also ultimately likely to apply in that location. As part of the subdivisional works implemented by the Waterloo Business Park Owners, fencing and planted bunds will be constructed as shown in Cross Sections AA and BB and maintained for a 24 month period.

There is a row of conifers along the boundary with Brixton Street. The Waterloo Business Park Owners will include these conifers within the proposed landscape treatment buffer in Cross Section B. These conifers shall then be retained for a minimum period of five years from the date of the completion of the buffer planting. At the completion of the 24 month maintenance period individual lot owners will take responsibility for the long term management and maintenance of the landscape buffers, in accordance with good horticultural practices, as described in Section 2.3.

### BUFFER TREATMENT "A"



### BUFFER TREATMENT "B"





## THE GUIDELINES

# Residential Interface

### Restrictions on ongoing site development

- A Limited Use Area of 10m width (measured from the rear of the planted buffer) in which activities will be limited to soft landscaping, stormwater management and treatment, and car parking and manoeuvring for staff cars and vans only;
- A height limit of 12m applies for a distance of 40m measured from the rear boundary of the Limited Use Area;
- No external loading bays, rubbish storage areas and/or access and manoeuvring areas for non-staff vehicles (including forklifts, rubbish trucks and delivery trucks) shall be located between a building and the Limited Use Area;
- Only pedestrian access shall be provided to any wall of a building facing the Limited Use Area, and;
- Any security lights shall be directed into the site and away from residential neighbours.

### SITES WITH A RESIDENTIAL INTERFACE

Buffer Treatment A

Buffer Treatment B





## THE GUIDELINES

# Building Design and Appearance

These guidelines pertain to the appearance of buildings on lots. A higher level of scrutiny will be directed towards the specific architectural solution proposed in the Core, compared to the Periphery, and towards the facades visible from roads and open spaces, compared to other facades.

### Style and Form - P & C

Building designs should follow New Zealand contemporary industrial and commercial styles, typically using low pitched or flat roofs and wide spans.

Building design should be neither residential nor “heritage” in character.

### Street Facades - P & C

On building elevations visible from roads and open spaces:

- Blank walls lacking relief should not be proposed;
- Plumbing and drainage work and external plant, vents etc should not be proposed;

Rooftop plant should not be visible.

### Articulation and Modulation - C

Building design should include articulation and modulation in plan form to break up the bulk of the building.

Front facades in particular should provide visual interest, for example using panels of colour, banding, recesses and projections, mouldings, and where possible a high proportion of glazing.

### Materials and colour - C

Buildings should employ a simple mix of materials and colour.

If utilised, concrete and fibre cement panelling should include some texture, relief or pattern.

Unacceptable use of materials includes:

- Plywood
- Horizontal weather board (timber or cement board) cladding (except as detail only)
- Tile roofs
- Sheet metal extending the full height of the building.
- Flourescent or iridescent colours should not be included in the colour scheme.





## THE GUIDELINES

# Signage and Lighting

This set of guidelines encourages sensitive and integrated design of building signage.

In the Core, it is important that signage is reasonable limited in extent, as it can detract from amenity if widely and randomly used.

In the Periphery, it is appropriate to allow also for additional signage that provides further information that relates to goods, material and services available from the site.

To achieve coherence across Waterloo Business Park a standard tenancy sign will be required. Waterloo Business Park may develop a separate more detailed specification for this in due course.

### Main Sign - P & C

Each lot should include, at or near the main vehicle or pedestrian entrance, a tenant's directory sign in general accordance with the concept shown. (Note: this is subject to further design development and the Waterloo Business Park Owners will supply a more detailed specification in future)

### Purpose of Signage - C

All signs should be for the purpose of identification of the building occupants and direction around the site and at least one sign should include a street number.

### Design of Signage - P & C

Building signage should be integrated with the building and should not project above facades, rooflines and parapets, or outwards from the building facade by greater than 0.5m.

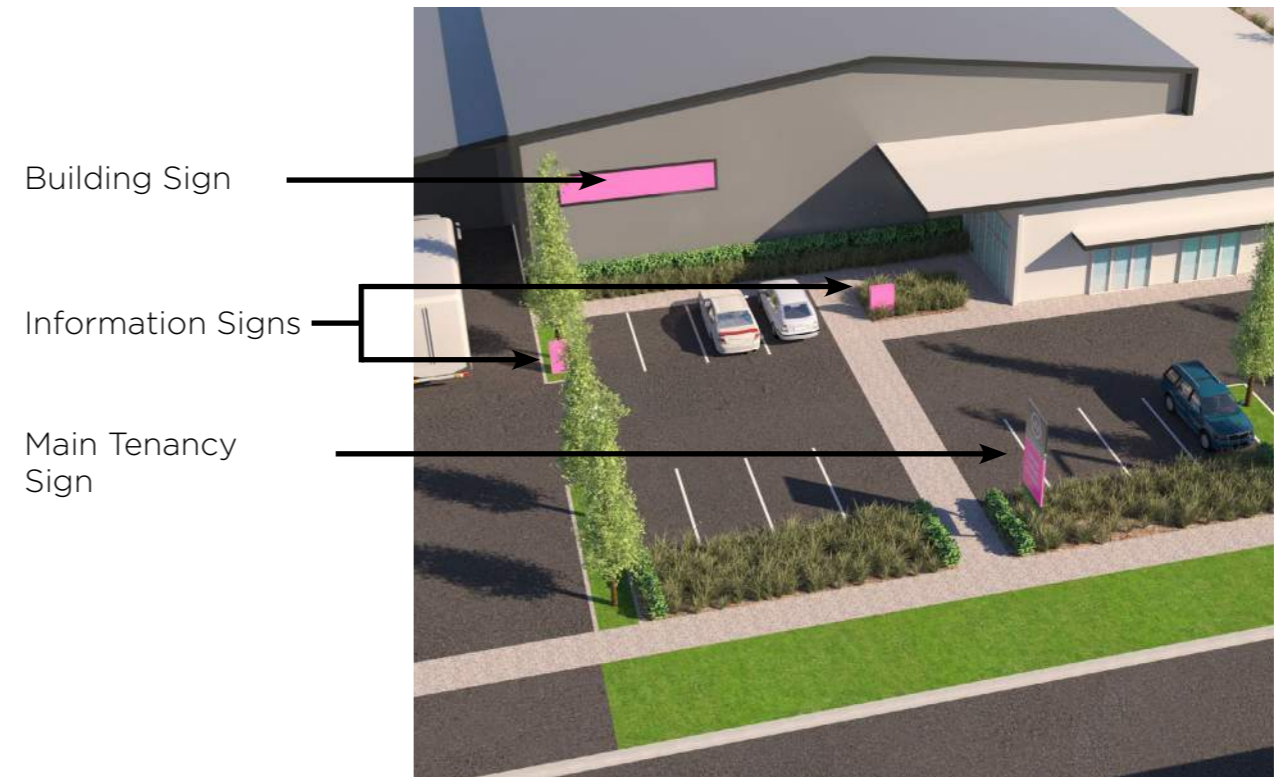
Building signage painted directly onto the walls or roof of the building should not constitute the principal signage, and in the Core Area should generally be avoided

Signage should not involve flashing lights or movement.

### Advertising Signage - P & C

All signs should be related to the activity and operation of the building on the lot (not unrelated general product advertising).

### ACCEPTABLE TYPES OF SIGNAGE - P & C



### Lighting

Designers are encouraged to give early consideration to appropriate type and levels of lighting on the building and around the lot. A guideline for night lighting is included so as to provide after hours security and discourage potential vandalism, graffiti and more serious crimes.

#### LIGHTING ON BUILDINGS

Lighting should not include lights which flash or move.

#### LIGHTING ON SITES

Night security lighting should be provided to all car park areas, pathways, recessed areas, entrances and enclosures.



## THE GUIDELINES

# Landscaping

### Landscape Vision

Hard and soft landscaping on sites is expected to supplement and support the Waterloo Business Park Owners' concepts for the public areas of the Business Park. Here, it is intended that the hard landscape will have a consistent theme of crushed lime chip garden bed surrounds and paving, cubed stone cobble paving throughout key areas and as a detail within exposed aggregate footpaths. Level boardwalk paths will be associated with the bridge crossings and used for limited detailing within key paved areas. River stones will be used to create built features within the park settings, i.e. bridge pillars, nib walls etc.

Other less consistent hard landscape features may include individualized land art/sculptures selected or commissioned to characterize the business park's brand, entities within the surrounding soft landscape and/or anchor tenants/occupiers. The landscape is intended to be characterised by bold patterns and an asymmetrical layout, with a contemporary take on the old English landscape style mixed with and a Canterbury flavour while retaining an awareness of the future surrounding architecture and setting.

Typical tree species for public areas detailed within the Master Plan include: avenues of Oriental Plane trees (boulevards and promenades), rows of Oak and Native Beech (Pound Road), stands of Poplar trees (gateways/landmarks), stands of White Bark Birch trees and rows of topiared conifer cones, (central hub), regimented rows of cheery trees and informal groves of native plantings (stormwater detention areas). Lower vegetation will be predominantly characterized by clipped hedges, (a solid formal vegetative character) and in contrast mass beds or rows of tussocks, (a softer and moving vegetative character).

A key matter for consideration in developing acceptable plant and materials palettes for landscaping on lots is to reinforce the public landscape concepts (detailed above and within the Summary Plant Pieces List, Appendix 1). Scrutiny will be directed towards how well a proposal achieves this.



### Relationship to District Plan

The Waterloo Business Park is zoned Business 8 under the Christchurch City Plan. District Plan Rule 5.2.7 provides requirements for the minimum area and disposition of landscaped areas on lots from the District Plan perspective. In summary, the development controls are:

- Minimum landscaped area: 10%
- Minimum landscaped strip: 3m across road frontages (excluding vehicle crossings) with balance of landscaping to be forward of the street facing building line and along internal publicly visible internal boundaries, apart from Pound Road which has a 10m landscape strip. No more than 10% of any landscaping strip shall be covered with any impervious surfaces.
- Trees: Minimum of one per Lot plus an additional one per 10m of road frontage (i.e. a 20m metre frontage would require three trees). Any trees required shall be planted along the road frontage and in front of any buildings on the site. Where there are three or more trees required then these trees shall be planted no more than 15 metres apart, or closer than 5 metres apart. In addition one tree shall be planted for every five parking spaces required on the site. These trees shall be planted within or adjacent to the carparking area. Any trees required shall be capable of reaching a minimum height at maturity of 8 metres and shall be not less than 1.5 metres high at the time of planting. Trees under power lines are to grow to no more no more than 10m high)
- Tree Protection: Trees are required to be planted in the landscape strip or a minimum 1.5m dimension or diameter tree protection area. Carparking areas shall be provided with wheel stop barriers at least 1m from any tree or landscape strip.
- Maintenance: All landscaping and trees are required to be maintained or replaced if dead/damaged/diseased.

Further requirements are detailed below that ensure a comprehensive and consistent high amenity environment is created throughout the Business Park.

### Driveway and Path Crossings - P & C

No white concrete or loose/compacted gravel should be used within vehicle areas forward of the street facing building line. Asphalt or exposed aggregate concrete is preferred.

All driveway crossings within the road reserves should be finished with an exposed aggregate concrete surface to match the concrete footpaths. No white concrete should be installed.

A clear pedestrian path of a minimum width of 1.8m should be provided from the footpath at the road frontage to the building's principal entrance. So that it enhances site legibility and adds to the site amenity, this path should be constructed in one or a combination of the following materials:

- exposed aggregate concrete
- stone cobble
- interlocking concrete pavers
- coloured concrete

All crossing points (where the path crosses areas in use by vehicles), should be clearly defined with a contrasting surface material including one or a combination of the above materials. There should be no painted crossings.



## THE GUIDELINES

# Landscaping

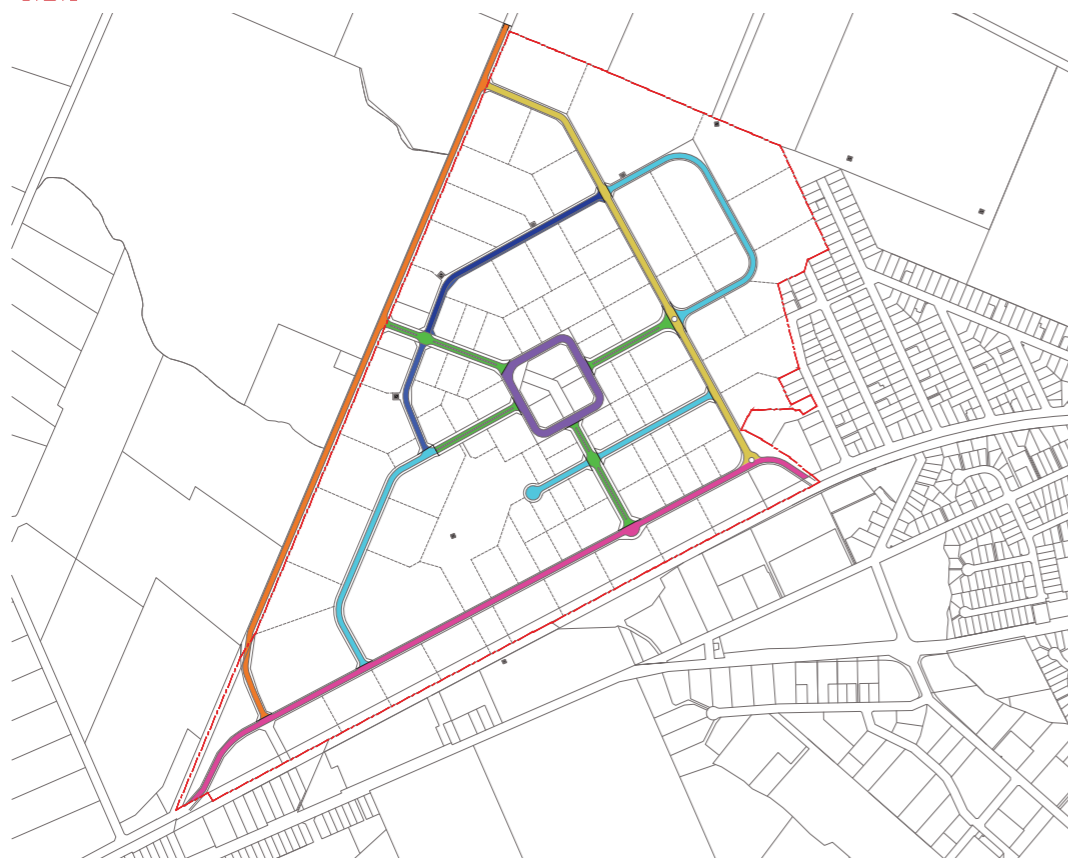
### Front Yard Garden - P & C

Under the District Plan, each lot is required to have a three metre wide landscape strip along the road frontage - referred to in this document as the "Front Yard Garden".

The front yard garden should be developed to retain clear sightlines between specimen tree canopies and areas of groundcovers/shrubbery, i.e. maximum 1.2 metre high groundcover/shrub/hedgerow and minimum 2.5 metre raised canopy for specimen trees (form pruned over time).

All plant species within the front yard garden should be selected from the Summary Plant Species List included in Appendix 1 of these guidelines. This list makes reference to particular road types. The front yard garden should build upon and enhance the nature of the adjoining particular road type streetscapes. Therefore in addition to the District Plan Tree Rules an outline of controls is detailed below based on the varying road types.

#### ROAD CLASSIFICATIONS



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#### Boulevard Roads:

In addition to the District Plan Tree Rules, a minimum 50% of the front yard garden should be grassed. A minimum 30% should be planted with a simple configuration of low hedgerows and/or mass swaths of tussock/carex like plants.

#### Standard Roads:

In addition to the District Plan Tree Rules, a minimum 70% of the front yard garden should be planted with shrubs, groundcovers and low hedge rows.

#### Waterloo Road, Pylon Roads and Halswell Junction-Pound Road Link:

In addition to the District Plan Tree Rules, no grass areas should be incorporated. All of the front yards garden should be planted with shrubs, groundcovers and low hedge rows with exception of footpath and vehicular crossings.

### Balance Front Yard

The Balance Front Yard is located behind the front yard three metre landscape strip or Front Yard Garden (as detailed above) and the front building line. Soft and hard landscaping within the Balance Front Yard should be comprehensively designed to continue on the Front Yard Garden themes/style.

The 1.8m wide minimum pedestrian path connecting between the road reserve footpath and the building's principal entrance will cross through this balance front yard. Where the pedestrian access is positioned alongside the sites vehicular access then it should be separated by a garden bed with a minimum width of 1 metre.

If the Balance Front Yard has in excess of 30 carparks then a pedestrian path with a minimum 1.5 metre width should also be incorporated adjoining the building frontage or the building planting strip (see below) creating a safe and legible pedestrian circulation separate from the vehicular area.

A minimum 1.5 metre planting strip should be located adjoining the building frontage of any blank section of wall in excess of 5m length fronting the street. This could be used to accommodate some of the carpark specimen trees (see below).

As per the District Plan Rules one tree shall be planted for every five parking spaces. These trees shall be planted within or adjacent to the carparking area. These car parking areas should be arranged in rows that do not exceed 10 spaces in a line without a planting strip or path separating these bays with a minimum dimension of 1.5 metres.

Clear sightlines should be created and maintained between the specimen tree canopies and any areas of groundcovers/shrubbery, (i.e. maximum 1.2 metre high groundcover/shrub/hedgerow and minimum 2.5 metre raised canopy for specimen trees (form pruned over time).

Stormwater management devices involving planted treatments (such as swales and raingardens) should be accommodated within the Balance Front Yard in preference to the Front Yard Garden but may be located within the latter subject to compliance to the street planting rule of the District Plan and those identified above.



## THE GUIDELINES

# Landscaping

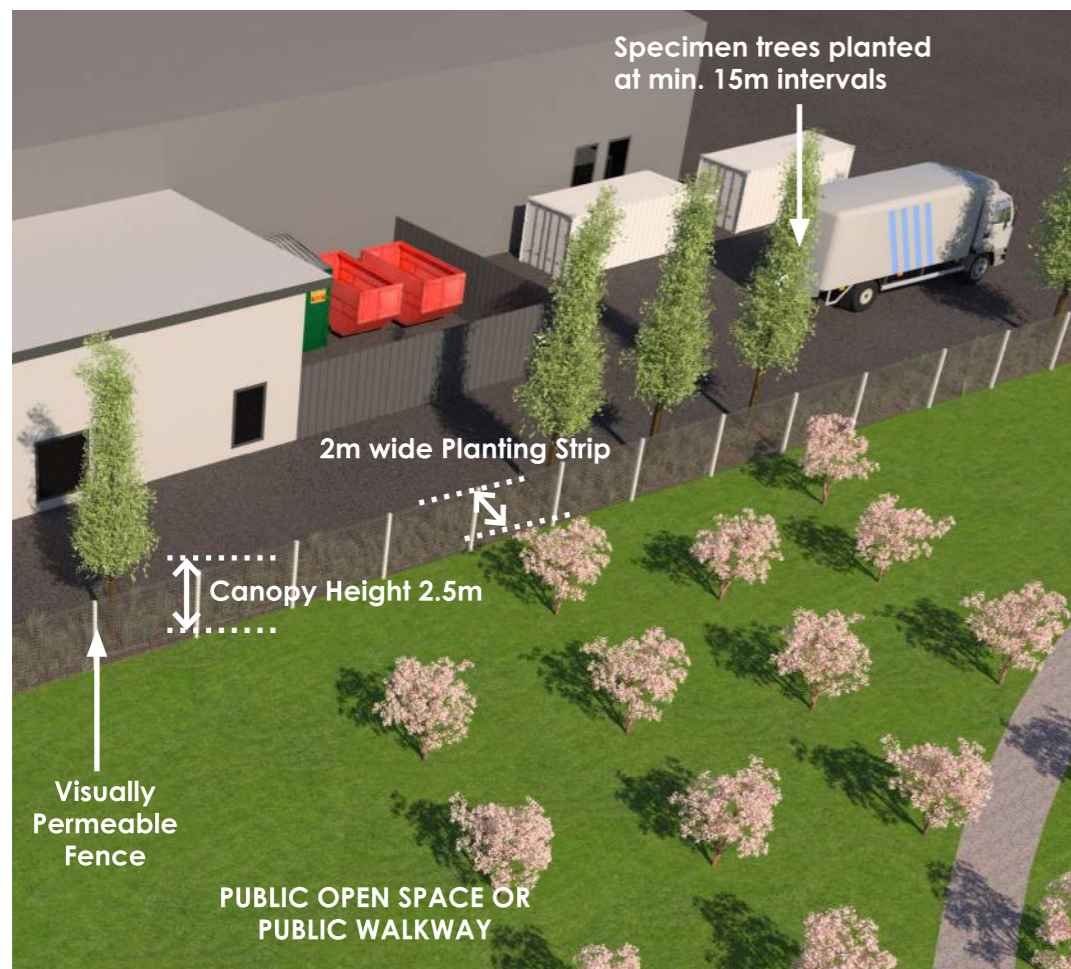
### Open Space Boundary - P & C

A two metre wide landscape strip should adjoin any Open Space Boundary, including any walkway. All plant species within this landscape strip should be selected from the Summary Plant Species List included in Appendix 1.

The landscape strip should be entirely planted with groundcovers and/or low shrubs/hedges maintained to a maximum height of 1.2 metres.

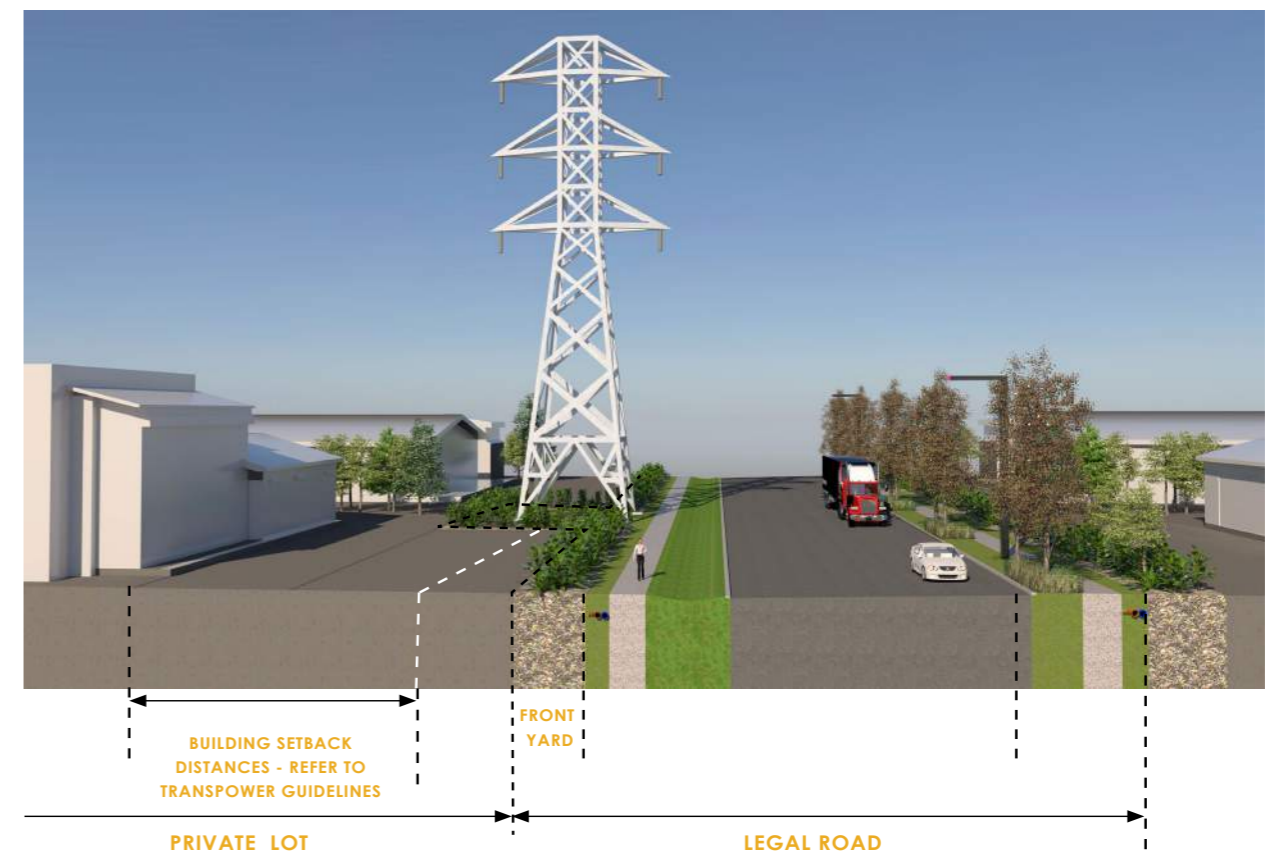
Specimen trees should be located at a minimum 15 metre interval (or one tree for every five carparks if parking is included) and located within the centre of the 2m wide strip. Over time these trees should be canopy lifted to a minimum 2.5 metre clearance to enable open sightlines between the trees and the groundcovers/shrubbery between the Lot and the Reserve (Open Space).

Only visually permeable fencing should be implemented along these boundaries.



### Transmission Power Lines - P & C

Any trees located within 18m of the centreline of the electricity transmission line should be species that have a maximum height of no more than 10m at maturity. Any vegetation located within the front yard area of Pylon Road Lots is subject to the Electricity (Hazards from Trees) Regulations 2003.



Example Diagram Only: Consult Electricity Regulations 2003 for complete rules.

### Landscape Implementation - P & C

Landscape implementation should be undertaken in accordance with the requirements outlined in Appendix 2.



A photograph of a modern building facade featuring large glass windows and balconies with metal railings. The building has a mix of grey, white, and wood-grain finishes. The sky is clear and blue.

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Appendices



## APPENDICES

# Plant Species Schedule

| Botanical Name                           | Common Name          | Grade | Spacing           |
|--|----------------------|-------|-------------------|
| <b>BOULEVARD ROAD</b>                    |                      |       |                   |
| STREET                                   |                      |       |                   |
| <b>Street Tree Berm</b>                  |                      |       |                   |
| Platanus orientalis var. insularis       | Oriental Plane       | 160L  | 20m               |
| <b>Street Tree Medium</b>                |                      |       |                   |
| Platanus orientalis var. insularis       | Oriental Plane       | 160L  | 20m               |
| <b>Street Underplanting</b>              |                      |       |                   |
| Chionochloa rigida                       | Snow Tussock         | PB5   | 0.5m              |
| FRONTYARD (minimum 50% grassed)          |                      |       |                   |
| Specimen Trees                           |                      |       |                   |
| Magnolia grandiflora 'Ferruginea'        | Magnolia             | 160L  | 5m                |
| Nothofagus solandrii var. cliffortioides | Moutain Beech        | 160L  | 5m                |
| Platanus orientalis var. insularis       | Oriental Plane       | 160L  | 10m               |
| <b>Hedge (&lt;1.2m)</b>                  |                      |       |                   |
| Griselinia 'Broadway Mint'               | Kapuka               | PB28  | 0.7m              |
| Veronica toparia or albicans             | Hebe                 | PB8   | 0.4m              |
| <b>Shrubs &amp; Groundcovers</b>         |                      |       |                   |
| Carex buchananii                         | Carex                | PB5   | 4/m <sup>2</sup>  |
| Carex virgata                            | Carex                | PB5   | 2/m <sup>2</sup>  |
| Chionochloa rigida                       | Snow Tussock         | PB5   | 2/m <sup>2</sup>  |
| Ophiopogon 'Black Dragon'                | Black Mondo          | RT    | 25/m <sup>2</sup> |
| Phormum 'Black Rage'                     | Black Flax           | PB5   | 2/m <sup>2</sup>  |
| Phormum Cookianum 'Green Dwarf'          | Dwarf Mt Flax        | PB5   | 2/m <sup>2</sup>  |
| Poa cita                                 | Silver Tussock       | PB5   | 4/m <sup>2</sup>  |
| RESERVE BOUNDARY                         |                      |       |                   |
| Specimen Trees                           |                      |       |                   |
| Magnolia grandiflora 'Ferruginea'        | Magnolia             | 160L  | 5m                |
| Nothofagus solandrii var. cliffortioides | Moutain Beech        | 160L  | 5m                |
| Platanus orientalis var. insularis       | Oriental Plane       | 160L  | 10m               |
| <b>Hedge (Trimmed &lt;1.2m)</b>          |                      |       |                   |
| Griselinia 'Broadway Mint'               | Kapuka               | PB28  | 0.7m              |
| Veronica toparia or albicans             | Hebe                 | PB8   | 0.4m              |
| <b>Shrubs &amp; Groundcovers</b>         |                      |       |                   |
| Aceana purpurea                          | Aceana               | PB2   | 4/m <sup>2</sup>  |
| Carex buchananii                         | Carex                | PB5   | 4/m <sup>2</sup>  |
| Carex virgata                            | Carex                | PB5   | 2/m <sup>2</sup>  |
| Chionochloa rigida                       | Snow Tussock         | PB5   | 2/m <sup>2</sup>  |
| Coprosma acerosa 'Red Rocks'             | Coprosma groundcover | PB2   | 2/m <sup>2</sup>  |
| Coprosma Hawera                          | Coprosma groundcover | PB2   | 2/m <sup>2</sup>  |
| Ophiopogon Black Dragon                  | Black Mondo          | RT    | 25/m <sup>2</sup> |
| Phormum 'Black Rage'                     | Black Flax           | PB5   | 2/m <sup>2</sup>  |
| Phormum Cookianum 'Green Dwarf'          | Dwarf Mt Flax        | PB5   | 2/m <sup>2</sup>  |
| Poa cita                                 | Silver Tussock       | PB5   | 4/m <sup>2</sup>  |

| Botanical Name                                     | Common Name          | Grade | Spacing           |
|--|----------------------|-------|-------------------|
| <b>STANDARD ROAD</b>                               |                      |       |                   |
| STREET   |                      |       |                   |
| <b>Street Tree</b>                                 |                      |       |                   |
| Quercus palustris                                  | Pin Oak              | 160L  | 5m                |
| <b>Street Underplanting</b>                        |                      |       |                   |
| Veronica toparia or albicans                       | Hebe                 | PB8   | 0.4m              |
| FRONTYARD (minimum 70% planted) & RESERVE BOUNDARY |                      |       |                   |
| Specimen Trees                                     |                      |       |                   |
| Magnolia grandiflora 'Ferruginea'                  | Magnolia             | 160L  | 5m                |
| Nothofagus fusca                                   | Red Beech            | 160L  | 5m                |
| Nothofagus solandrii var. cliffortioides           | Moutain Beech        | 160L  | 5m                |
| Quercus palustris                                  | Pin Oak              | 160L  | 5m                |
| Quercus robur 'Fastigiata'                         | Upright English Oak  | 160L  | 5m                |
| <b>Hedge (Trimmed &lt;1.2m)</b>                    |                      |       |                   |
| Coprosma Middlemore                                |                      | PB12  | 0.3m              |
| Corokia 'Genties Green'                            | Corokia              | PB28  | 0.5m              |
| Griselinia 'Broadway Mint'                         | Kapuka               | PB28  | 0.7m              |
| Photinia Red Robin                                 |                      | PB28  | 0.5m              |
| Teucrium fruticans                                 |                      | PB8   | 0.3m              |
| Veronica toparia or albicans                       | Hebe                 | PB8   | 0.4m              |
| <b>Shrubs &amp; Groundcovers</b>                   |                      |       |                   |
| Aceana purpurea                                    | Aceana               | PB2   | 4/m <sup>2</sup>  |
| Astelia 'Silver Spear'                             | Asteila              | PB12  | 2/m <sup>2</sup>  |
| Astelia 'Westland'                                 | Astelia              | PB12  | 2/m <sup>2</sup>  |
| Brachyglotis 'Otari Cloud'                         | Daisy Bush           | PB5   | 2/m <sup>2</sup>  |
| Carex buchananii                                   | Carex                | PB5   | 4/m <sup>2</sup>  |
| Carex virgata                                      | Carex                | PB5   | 2/m <sup>2</sup>  |
| Carpodetus serrata prostrata                       | Putaputaweta         | PB5   | 2/m <sup>2</sup>  |
| Chionochloa rigida                                 | Snow Tussock         | PB5   | 2/m <sup>2</sup>  |
| Coprosma acerosa 'Red Rocks'                       | Coprosma groundcover | PB2   | 2/m <sup>2</sup>  |
| Coprosma Hawera                                    | Coprosma groundcover | PB2   | 2/m <sup>2</sup>  |
| Cordylina 'Red Fountain'                           | Red Fountain         | PB2   | 2/m <sup>2</sup>  |
| Leptocarpus similis                                | Oioi                 | PB5   | 9/m <sup>2</sup>  |
| Libertia ixioides 'Goldfinger'                     | Iris                 | PB3   | 16/m <sup>2</sup> |
| Ophiopogon 'Black Dragon'                          | Black Mondo          | RT    | 25/m <sup>2</sup> |
| Phormum 'Black Rage'                               | Black Flax           | PB5   | 2/m <sup>2</sup>  |
| Phormum Cookianum 'Green Dwarf'                    | Dwarf Mt Flax        | PB5   | 2/m <sup>2</sup>  |
| Poa cita   | Silver Tussock       | PB5   | 4/m <sup>2</sup>  |
| Veronica diosmifolia                               | Hebe                 | PB5   | 2/m <sup>2</sup>  |
| Veronica pinguifolia 'Sutherlandii'                | Hebe                 | PB5   | 4/m <sup>2</sup>  |



| Botanical Name   | Common Name            | Grade | Spacing           |
|--|------------------------|-------|-------------------|
| <b>WATERLOO ROAD + HALSWELL JUNCTION-POUND LINK ROAD</b> |                        |       |                   |
| FRONTYARD (no grassed areas) & RESERVE BOUNDARY          |                        |       |                   |
| <b>Specimen Trees</b>                                    |                        |       |                   |
| Magnolia grandiflora 'Ferruginea'                        | Magnolia               | 160L  | 5m                |
| Nothofagus fusca   | Red Beech              | 160L  | 5m                |
| Nothofagus solandrii var. cliffortioides                 | Moutain Beech          | 160L  | 5m                |
| Plagianthus regius                                       | Ribbonwood             | PB95  | 5m                |
| Platanus orientalis var. insularis                       | Oriental Plane         | 160L  | 10m               |
| Quercus palustris  | Pin Oak                | 160L  | 5m                |
| Quercus robur 'Fastigiata'                               | Upright English Oak    | 160L  | 5m                |
| <b>Hedge (&lt;1.2m)</b>                                  |                        |       |                   |
| Coprosma Middlemore                                      |                        | PB12  | 0.3m              |
| Corokia 'Genties Green'                                  | Corokia                | PB28  | 0.5m              |
| Griselinia 'Broadway Mint'                               | Kapuka                 | PB28  | 0.7m              |
| Photinia Red Robin                                       |                        | PB28  | 0.5m              |
| Teucrium fruticans                                       |                        | PB8   | 0.3m              |
| Veronica toparia or albicans                             | Hebe                   | PB8   | 0.4m              |
| <b>Shrubs &amp; Groundcovers</b>                         |                        |       |                   |
| Aceana purpurea  | Aceana                 | PB2   | 4/m <sup>2</sup>  |
| Astelia 'Silver Spear'                                   | Asteila                | PB12  | 2/m <sup>2</sup>  |
| Astelia 'Westland'                                       | Astelia                | PB12  | 2/m <sup>2</sup>  |
| Brachyglotis 'Otari Cloud'                               | Daisy Bush             | PB5   | 2/m <sup>2</sup>  |
| Carex buechananii  | Carex                  | PB5   | 4/m <sup>2</sup>  |
| Carex virgata  | Carex                  | PB5   | 2/m <sup>2</sup>  |
| Carpodetus serrata prostrata                             | Putaputaweta           | PB5   | 2/m <sup>2</sup>  |
| Chinochloa flavicans                                     | Dward Toetoe           | PB5   | 2/m               |
| Chionochloa rigida                                       | Snow Tussock           | PB5   | 2/m <sup>2</sup>  |
| Choisya ternata  | Mexican Orange Blossom | PB12  | 1/m <sup>2</sup>  |
| Coprosma acerosa 'Red Rocks'                             | Coprosma groundcover   | PB2   | 2/m <sup>2</sup>  |
| Coprosma Hawera  | Coprosma groundcover   | PB2   | 2/m <sup>2</sup>  |
| Cordylina 'Red Fountain'                                 | Red Fountain           | PB2   | 2/m <sup>2</sup>  |
| Corokia cotoneaster                                      |                        | PB12  | 1/m <sup>2</sup>  |
| Dodonea viscosa 'Purpurea'                               |                        | PB12  | 1/m <sup>2</sup>  |
| Leptocarpus similis                                      | Oioi                   | PB5   | 9/m <sup>2</sup>  |
| Libertia ixioides 'Goldfinger'                           | Iris                   | PB3   | 16/m <sup>2</sup> |
| Muelenbeckia astonii                                     |                        | PB5   | 2/m <sup>2</sup>  |
| Ophiopogon 'Black Dragon'                                | Black Mondo            | RT    | 25/m <sup>2</sup> |
| Phormum 'Black Rage'                                     | Black Flax             | PB5   | 2/m <sup>2</sup>  |
| Phormum Cookianum  | Mt Flax                | PB5   | 2/m <sup>2</sup>  |
| Phormum Cookianum 'Green Dwarf'                          | Dwarf Mt Flax          | PB5   | 2/m <sup>2</sup>  |
| Poa cita   | Silver Tussock         | PB5   | 4/m <sup>2</sup>  |
| Rhododendrom species                                     | Rhododendrom           | PB12  | 1/m <sup>2</sup>  |
| Veronica diosmifolia                                     | Hebe                   | PB5   | 2/m <sup>2</sup>  |
| Veronica pinguifolia 'Sutherlandii'                      | Hebe                   | PB5   | 4/m <sup>2</sup>  |
| Veronica toparia   | Hebe                   | PB5   | 3/m <sup>2</sup>  |
| Veronica 'Wiri Mist'                                     | Hebe                   | PB5   | 2/m <sup>2</sup>  |

| Botanical Name   | Common Name               | Grade | Spacing           |
|--|---------------------------|-------|-------------------|
| <b>PYLON ROAD</b>  |                           |       |                   |
| STREET   |                           |       |                   |
| <b>Street Tree South Eastern Road Side</b>                                   |                           |       |                   |
| Nothofagus solandrii var. cliffortioides                                     | Moutain Beech             | 160L  | 4m                |
| <b>Street Underplanting</b>  |                           |       |                   |
| Libertia ixioides 'Goldfinger'   | Iris                      | PB3   | 16/m <sup>2</sup> |
| FRONTYARD (no grassed areas) & RESERVE BOUNDARY                              |                           |       |                   |
| <b>Specimen Trees South Eastern Road Side</b>                                |                           |       |                   |
| Cordylina australis  | Cabbage tree              | PB95  | 5m                |
| Malus spp  | Crab Apple                | 160L  | 5m                |
| Nothofagus fusca   | Red Beech                 | 160L  | 5m                |
| Nothofagus solandrii var. cliffortioides                                     | Moutain Beech             | 160L  | 5m                |
| Plagianthus regius   | Ribbonwood                | PB95  | 5m                |
| Prunus spp   | Ornamental Cherry - Pink  | 160L  | 5m                |
| Prunus spp   | Ornamental Cherry - White | 160L  | 5m                |
| Pseudopanax arboreus   | Five Finger               | PB95  | 5m                |
| Quercus robur 'Fastigiata'   | Upright English Oak       | 160L  | 5m                |
| <b>Specimen Trees Under Pylon NOTE MUST COMPLY WITH TRANSPower STANDARDS</b> |                           |       |                   |
| Cordylina australis  | Cabbage tree              | PB95  | 5m                |
| Malus spp  | Crab Apple                | 160L  | 5m                |
| Plagianthus regius   | Ribbonwood                | PB95  | 5m                |
| Prunus spp   | Ornamental Cherry - Pink  | 160L  | 5m                |
| Prunus spp   | Ornamental Cherry - White | 160L  | 5m                |
| Pseudopanax arboreus   | Five Finger               | PB95  | 5m                |
| <b>Hedge (&lt;1.2m)</b>  |                           |       |                   |
| Coprosma Middlemore  |                           | PB12  | 0.3m              |
| Corokia 'Genties Green'  | Corokia                   | PB28  | 0.5m              |
| Griselinia 'Broadway Mint'   | Kapuka                    | PB28  | 0.7m              |
| Photinia Red Robin   |                           | PB28  | 0.5m              |
| Teucrium fruticans   |                           | PB8   | 0.3m              |
| Veronica toparia or albicans   | Hebe                      | PB8   | 0.4m              |
| <b>Shrubs &amp; Groundcovers</b>   |                           |       |                   |
| Aceana purpurea  | Aceana                    | PB2   | 4/m <sup>2</sup>  |
| Astelia 'Silver Spear'   | Asteila                   | PB12  | 2/m <sup>2</sup>  |
| Astelia 'Westland'   | Astelia                   | PB12  | 2/m <sup>2</sup>  |
| Brachyglotis 'Otari Cloud'   | Daisy Bush                | PB5   | 2/m <sup>2</sup>  |
| Carex buechananii  | Carex                     | PB5   | 4/m <sup>2</sup>  |
| Carex virgata  | Carex                     | PB5   | 2/m <sup>2</sup>  |
| Carpodetus serrata prostrata   | Putaputaweta              | PB5   | 2/m <sup>2</sup>  |
| Chinochloa flavicans   | Dward Toetoe              | PB5   | 2/m               |
| Chionochloa rigida   | Snow Tussock              | PB5   | 2/m <sup>2</sup>  |
| Choisya ternata  | Mexican Orange Blossom    | PB12  | 1/m <sup>2</sup>  |
| Coprosma acerosa 'Red Rocks'   | Coprosma groundcover      | PB2   | 2/m <sup>2</sup>  |
| Coprosma Hawera  | Coprosma groundcover      | PB2   | 2/m <sup>2</sup>  |
| Cordylina 'Red Fountain'   | Red Fountain              | PB2   | 2/m <sup>2</sup>  |
| Corokia cotoneaster  |                           | PB12  | 1/m <sup>2</sup>  |
| Dodonea viscosa 'Purpurea'   |                           | PB12  | 1/m <sup>2</sup>  |
| Leptocarpus similis  | Oioi                      | PB5   | 9/m <sup>2</sup>  |
| Libertia ixioides 'Goldfinger'   | Iris                      | PB3   | 16/m <sup>2</sup> |



| Botanical Name                      | Common Name    | Grade | Spacing           |
|-------------------------------------|----------------|-------|-------------------|
| Muelenbeckia astonii                |                | PB5   | 2/m <sup>2</sup>  |
| Ophiopogon 'Black Dragon'           | Black Mondo    | RT    | 25/m <sup>2</sup> |
| Phormium 'Black Rage'               | Black Flax     | PB5   | 2/m <sup>2</sup>  |
| Phormium Cookianum                  | Mt Flax        | PB5   | 2/m <sup>2</sup>  |
| Phormium Cookianum 'Green Dwarf'    | Dwarf Mt Flax  | PB5   | 2/m <sup>2</sup>  |
| Poa cita                            | Silver Tussock | PB5   | 4/m <sup>2</sup>  |
| Rhododendrom species                | Rhododendrom   | PB12  | 1/m <sup>2</sup>  |
| Veronica diosmifolia                | Hebe           | PB5   | 2/m <sup>2</sup>  |
| Veronica pinguifolia 'Sutherlandii' | Hebe           | PB5   | 4/m <sup>2</sup>  |
| Veronica toparia                    | Hebe           | PB5   | 3/m <sup>2</sup>  |
| Veronica 'Wiri Mist'                | Hebe           | PB5   | 2/m <sup>2</sup>  |

## POUND ROAD

### REAR OF LOT

| Specimen Trees          |               |      |                  |
|-------------------------|---------------|------|------------------|
| Nothofagus fusca        | Red Beech     | 160L | 10m              |
| Quercus palustris       | Pin Oak       | 160L | 10m              |
| Hedge                   |               |      |                  |
| Pittosporum tenuifolium | Kohuhu        | PB28 | 1.2m             |
| Shrubs & Groundcovers   |               |      |                  |
| Chionochloa rigida      | Snow Tussock  | PB5  | 2/m <sup>2</sup> |
| Phormium cookianum      | Mountain Flax | PB5  | 2/m <sup>2</sup> |

## KEY RESERVE SPECIES

### RESERVES

| Specimen Trees                           |                           |      |                   |
|--|---------------------------|------|-------------------|
| Nothofagus fusca                         | Red Beech                 | 160L | 5m                |
| Nothofagus solandrii var. cliffortioides | Mountain Beech            | 160L | 5m                |
| Populus nigra                            | Lombardy Poplar           | PB95 | 2.5m              |
| Prunus spp                               | Ornamental Cherry - Pink  | 160L | 2.5m              |
| Prunus spp                               | Ornamental Cherry - White | 160L | 2.5m              |
| Hedge (<1.2m)                            |                           |      |                   |
| Griselinia 'Broadway Mint'               | Kapuka                    | PB28 | 0.7m              |
| Veronica toparia or albicans             | Hebe                      | PB8  | 0.4m              |
| Shrubs & Groundcovers                    |                           |      |                   |
| Carex virgata                            | Carex                     | PB5  | 2/m <sup>2</sup>  |
| Chionochloa rigida                       | Snow Tussock              | PB5  | 2/m <sup>2</sup>  |
| Libertia ixioides 'Goldfinger'           | Iris                      | PB3  | 16/m <sup>2</sup> |

| Botanical Name                     | Common Name     | Grade | Spacing          |
|------------------------------------|-----------------|-------|------------------|
| <b>HUB</b>                         |                 |       |                  |
| Specimen Trees                     |                 |       |                  |
| Betula papyrifera (HUB)            | Paper Birch     | PB95  | 2m               |
| Juniperus spp                      | Juniper Topiary | PB95  | 5m               |
| Platanus orientalis var. insularis | Oriental Plane  | 160L  | 10m              |
| Populus nigra                      | Lombardy Poplar | PB95  | 2.5m             |
| Hedge (<1.2m)                      |                 |       |                  |
| Veronica toparia or albicans       | Hebe            | PB8   | 0.4m             |
| Shrubs & Groundcovers              |                 |       |                  |
| Carex virgata                      | Carex           | PB5   | 2/m <sup>2</sup> |
| Chionochloa rigida                 | Snow Tussock    | PB5   | 2/m <sup>2</sup> |

Note: The Summary Plant Species List is not exhaustive subject to detailed design of individual lots



## APPENDICES

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# Landscape Implementation Requirements

### Landscape Contractor

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All soft landscape works shall be implemented by a reputable and experienced Landscape Contractor.

### Plant Supply

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All plant material should be of best nursery stock, healthy and vigorous, with well developed root systems, free of disease, pests and physical damage. All plants should be locally sourced and if not then hardened off to the site conditions prior to implementation.

All specimen trees should be a PB150 or 160L minimum grade, with a minimum height of 2.5 metres when planted, (which is taller than the District Plan Rule of 1.5 minimum). All hedge plants should be a PB28 minimum grade. All shrubs and groundcovers should be a PB5 minimum grade unless specified otherwise within the Summary Plant Species List included in Appendix 1 of these controls.

### Site Preparation

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The entire site should be free of any weeds prior to commencement of landscape implementation. Prior to planting the soil medium in lawn and planting areas should be cultivated to provide good plant support and to encourage active root growth. Any site compaction should be remedied and a minimum 250mm depth of adequate friable topsoil must be provided within these areas.

### Site implementation

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All soft landscape works should be implemented following good horticultural practices. All plants should be planted with a suitable controlled release fertiliser. All specimen trees should be form pruned at the time of planting. All specimen trees located within one metre proximity to buildings or sealed surfaces should be implemented with a root protection guard.

### Tree Stakes

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All specimen trees must be staked with a minimum two 50 x50 ground treated black stained timber stakes and fastened with 50mm wide Hessian webbing ties stapled to the stakes at one third of the tree height. All stakes should be positioned vertically with tops level with each other and located parallel with the road frontage (where applicable).

### Irrigation

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All soft landscape areas should be implemented with automatically controlled reticulated irrigation systems.

### Plant Bed Edges

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Plant bed edges can be installed between planting and lawn areas. The top of the plant bed edge should be finished level with the lawn (i.e. not protruding above the finished ground level). If concrete kerbs are used then a coloured oxide should be added, (i.e. no white concrete). Alternatively a small ditch should be dug to form a tidy edge and restrict mulch overflowing onto grassed areas.

### Plant Bed Mulch

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All plant beds shall be mulched with a minimum 100mm depth including one or a combination of the following:

- black bark
- crushed shell
- pebble
- stone

A small ditch should be dug on the parameter of all planting areas to restrict mulch overflowing onto grassed, paved or sealed areas.

Weedmat lining can be installed below mulched areas. At no point should this weed mat be visible. It should be a biodegradable material and pegged at regular spacings as per manufacturers instructions.

### Maintenance Period

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All soft landscape works should be maintained regularly for a minimum two year period by the implementing Landscape Contractor and then included within the Lots Management and Maintenance Schedule.

### Reinstatement

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Any street trees, street gardens, footpaths, kerbs and or signage within the road reserve, parks or neighbouring lots damaged during the building or landscaping implementation works (including chemical herbicide spray drift or vehicular mishap) on individual lots should be reinstated at that Lot owners cost to the approved/existing standards and specifications

### Management and Maintenance

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Lot owners will take responsibility for the long term management and maintenance of all soft landscape works, in accordance with good horticultural practices, including:

- mowing the grassed areas
- weed removal
- pest control
- rubbish removal
- watering during extended dry periods
- tree stake repairs and/or removal once trees are firmly established
- reinstatement of mulch levels
- reinstatement of garden edging
- formative or damage pruning
- fertilising for growth
- treatment for insect or fungal diseases
- death replacements



# THANK YOU

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